



P: (03) 5220 7111
F: (03) 5220 7100
Local call: 1300 363 036
E: enquiries@gplains.vic.gov.au

Golden Plains Shire Council
2 Pope Street, PO Box 111
Bannockburn, Victoria, 3331
W: www.goldenplains.vic.gov.au

GPS Ref P14-085

30/05/2014

Gregory Francis Lehey
47 Kleins Road
DEREEL VIC 3352

Dear Gregory

PLANNING PERMIT NO P14-085

I wish to advise that your Planning Permit Application has been dealt with under the provisions of the *Planning and Environment Act 1987*.

Please find enclosed Planning Permit No **P14-085** for the use and development of the land for a dwelling, shed, horse arena and native vegetation removal at 29 Stones Road, Dereel.

Your attention is drawn to the permit conditions and information listed on the over side of the permit.

If you have any questions about this permit, please contact Mathew Mertuszka on telephone ☎ 5220 7111.

Yours faithfully

LAURA WILKS
PLANNING TEAM LEADER

Enc Planning Permit and Endorsed Plans



PLANNING PERMIT

Permit Number P14-085
Planning Scheme Golden Plains Planning Scheme
Responsible Authority Golden Plains Shire

ADDRESS OF THE LAND

Lot 2 on Plan of Subdivision 112907 (29 Stones Road, Dereel)

THE PERMIT ALLOWS

The use and development of the land for a dwelling, shed, horse arena and native vegetation removal in accordance with the endorsed plans.

THE FOLLOWING CONDITIONS APPLY TO THE PERMIT (19 Conditions)

1. The layout of the site and the size of the proposed buildings and works as shown on the endorsed plans must not be altered or modified without the written consent of the responsible authority
2. Before any native vegetation is removed, an offset must be provided meeting the following requirements:
 - a) contribute gain of 0.017 general biodiversity equivalence units
 - b) be located within the Corangamite Catchment Management Authority boundary or Golden Plains Shire municipal district;
 - c) have a strategic biodiversity score of at least 0.08 of the native vegetation approved for removal.
3. Before any native vegetation is removed, evidence that an offset has been secured must be provided to the satisfaction of the responsible authority. This offset must meet the offset requirements set out in this permit and be in accordance with the requirements of Permitted clearing of native vegetation – Biodiversity assessment guidelines and the Native vegetation gain scoring manual. Offset evidence can be either:
 - a) a security agreement such as a Section 173 agreement for the offset site or sites, including a 10 year offset management plan.
 - b) a credit register extract from the Native Vegetation Credit Register.
4. All external materials to be used in the construction of the dwelling, shed and horse arena must be of muted tones and be non-reflective and must not result in any adverse visual impact on the amenity of the surrounding area.
5. Access to the land must be provided in accordance with Council Infrastructure Design Manual standard drawing number 255 to the satisfaction of the responsible authority.
6. The dwelling must be connected to a reticulated potable water supply or have an alternative potable water supply with adequate storage for domestic use as well as for fire fighting purposes to the satisfaction of the responsible authority.

Date Issued: 30/05/2014

Signature for the
Responsible Authority:

Laura Wilks

LAURA WILKS
PLANNING TEAM LEADER



7. The dwelling must be connected to a reticulated electricity supply or have an alternative energy source to the satisfaction of the responsible authority.
8. The dwelling must be connected to reticulated sewerage, if available. If reticulated sewerage is not available, all wastewater from the dwelling must be treated and retained within the lot in accordance with the State Environment Protection Policy (Waters of Victoria) and Code of Practice – Onsite Wastewater Management under the Environment Protection Act 1970.
9. The layout of the site and the size of the proposed buildings and works as shown on the endorsed plans must not be altered or modified without the written consent of the responsible authority.
10. This permit is granted for a shed and horse riding arena for domestic purposes only and such use must not be altered without the written consent of the responsible authority.
11. No native vegetation on the site is to be felled, damaged, lopped or trimmed except the vegetation required to be removed, lopped or trimmed for the construction of the proposed dwelling, shed and horse arena in accordance with the Biodiversity Assessment Report dated 12 May 2014.
12. The development hereby permitted must not cause any nuisance or loss of amenity in any adjacent or nearby land by reason of the discharge of drainage.
13. All run off from the proposed buildings and works must be directed to a legal point of discharge to the satisfaction of the responsible authority.
14. This permit will expire if one of the following circumstances applies:
 - a) the development is not started within two years of the date of issue.
 - b) the use is not started and the development is not completed within four years of the date of issue.The responsible authority may extend the periods referred to if a request is made in writing before the permit expires, or within six months afterwards.

CFA CONDITIONS

Ref: 69009-688064-693287

Defendable Space

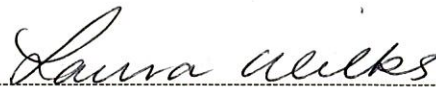
15. Before the occupation of the dwelling starts, and at all times thereafter, vegetation on the land must be maintained to at least the following standard:

Inner Zone – extending from the dwelling in all directions for at least 43 metres (or to the property boundary – whichever is the lesser distance)

 - 15.1 Within 10 metres of a building, flammable objects such as plants, mulches and fences must not be located close to vulnerable parts of the dwelling such as windows, decks and eaves.
 - 15.2 Trees must not overhang the roofline of the dwelling, touch walls or other elements of a building.
 - 15.3 Grass must be no more than 5 centimetres in height and all leaves and vegetation debris are to be removed at regular intervals.
 - 15.4 Shrubs must not be planted under trees and separated by at least 1.5 times their mature height.
 - 15.5 Plants greater than 10 centimetres in height at maturity must not be placed directly in front of a window or other glass feature.

Date Issued: 30/05/2014

Signature for the
Responsible Authority:


LAURA WILKS
PLANNING TEAM LEADER

Page 2 of 4

Planning Permit P13-349

- 15.6 Tree canopy separation of 2 metres and the overall canopy cover of no more than 15 per cent at maturity.
- 15.7 Tree branches below 2 metres from ground level must be removed.

Outer Zone – extending from the perimeter of the inner zone in all directions for at least 20 metres (or to the property boundary – whichever is the lesser distance)

- 15.8 Grass must be no more than 10 centimetres in height and leaf and other debris mowed, slashed or mulched.
- 15.9 Shrubs and/or trees must not form a continuous canopy with unmanaged fuels.
- 15.10 Tree branches below 2 metres from ground level must be removed.
- 15.11 Trees may touch each other with an overall tree canopy cover of no more than 30 per cent at maturity.
- 15.12 Shrubs must be in clumps of no greater than 10 square metres, which are separated from each other by at least 10 metres.

Construction

- 16. A site assessment for the purpose of determining the bushfire attack level for the site has been considered as part of the application for the planning permit. The construction of the dwelling must be to a bushfire attack level of BAL-19 in accordance with the relevant sections to AS3959-2009.

Static Water Supply

- 17. Prior to the initial occupation of the dwelling a static water supply must be provided on the land and must meet all of the following requirements:
 - 17.1 The water supply must have a minimum capacity of 10,000 litres that is maintained solely for fire fighting purposes.
 - 17.2 The water supply must be stored in an above ground water tank constructed of concrete, steel or corrugated iron.
 - 17.3 The water supply must be located within 60 metres of the outer edge of the dwelling (including any obstructions).
 - 17.4 The water supply outlet/s must be attached to the water tank and must face away from the building if located less than 20 metres from the building to enable access during emergencies.
 - 17.5 All pipework between the water supply and the outlet/s must be a minimum of 64 mm nominal bore.
 - 17.6 All fixed above-ground water pipelines and fittings must be of non-corrodible and non-combustible materials.
 - 17.7 The water supply must:
 - 17.7.1 Be located so that fire brigade vehicles are able to get to within 4 metres of the water supply outlet.
 - 17.7.2 Incorporate an additional 64 mm (minimum) gate or ball valve and 64 mm (fixed size), 3 threads per inch, male fitting to suit a CFA coupling.
 - 17.7.3 Incorporate a vortex inhibitor or additional water must be provided to ensure that the volume of water available is not restricted by a vortex. Refer to Section 5 of AS.2419 for requirements for vortex inhibitors.
 - 17.7.4 Incorporate an additional ball or gate valve to provide access to the water by the resident of the dwelling.
 - 17.8 The water supply outlet must not be obstructed by vegetation, buildings, fences or other structures.

Date Issued: 30/05/2014

Signature for the Responsible Authority:

Laura Wilks
LAURA WILKS
PLANNING TEAM LEADER

- 17.9 All below-ground water pipelines must be installed to at least the following depths:
- 17.9.1 Subject to vehicle traffic: 300 mm
 - 17.9.2 Under dwellings or concrete slabs: 75 mm
 - 17.9.3 All other locations: 225 mm
- 17.10 The water supply must be readily identifiable from the building or appropriate signage must be provided which:
- 17.10.1 Has an arrow pointing to the location of the water supply.
 - 17.10.2 Has dimensions of not less than 310 mm high and 400 mm long.
 - 17.10.3 Is red in colour, with a blue reflective marker attached.
 - 17.10.4 Is labelled with a 'W' that is not less than 15 cm high and 3 cm thick.

Access

18. Before the occupation of the dwelling starts access to the static water supply outlet and the dwelling must be provided and must be designed to allow emergency vehicle access. The design of the access (including gates, bridges and culverts) must comply with the following minimum requirements:
- 18.1 Curves in driveway must have a minimum inner radius of 10 metres.
 - 18.2 The average grade must be no more than 1 in 7 (14.4 per cent) (8.1 degrees) with a maximum of no more than 1 in 5 (20 per cent) (11.3 degrees) for no more than 50 metres.
 - 18.3 Dips must have no more than a 1 in 8 (12.5 per cent) (7.1 degrees) entry and exit angle.
 - 18.4 Designed, constructed and maintained for a load limit of at least 15 tonnes and be of all-weather construction.
 - 18.5 Have a minimum trafficable width of 3.5 metres and be substantially clear of encroachments for at least 0.5 metres on each side.
 - 18.6 Be clear of encroachments at least 4 metres vertically.

Mandatory Condition – Maintenance of bushfire mitigation measures

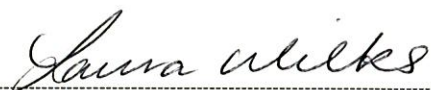
19. The bushfire mitigation measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply, and access, must be maintained to the satisfaction of the responsible authority and the relevant fire authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed.

Date Issued: 30/05/2014

Page 4 of 4

Planning Permit P13-349

Signature for the
Responsible Authority:


LAURA WILKS
PLANNING TEAM LEADER

SINGLE STOREY DWELLING NOT APPLICABLE

Paddock

PLAN OF FEATURE SURVEY OF LOT 2 ON LP 112907 STONES ROAD DEREEL

(ORIGINAL SHEET SIZE A-1) SCALE 1:200 METRIC

LEVELS ARE TO AN ARBITRARY DATUM (approx 1:391)
CONTOUR INTERVAL 0.20 METRES
COMPUTER REF: 401102
VICROADS REF: 76 E-6

89°49' 274.65

ROW OF CONIFERS (5m.ht)

T.B.M. C.I. ELECT. PIT R.L. 10.00

POST & WIRE FENCE (1.2m.ht)

POST

STAY

10.09

LOW

NATIVE

SCRUBBERY

Existing entrance

LOT 2 ON LP 112907 2.020ha

Remove trees, plant new further west

Riding arena 20 x 15m

Paddock

100m to boundary

LEGEND	
[Symbol]	S/W PROPERTY INLET
[Symbol]	S/W PIT
[Symbol]	SEWER MANHOLE
[Symbol]	ELECTRICITY PIT
[Symbol]	ELECTRICITY POLE
[Symbol]	STREET LIGHT
[Symbol]	WATER VALVE
[Symbol]	WATER HYDRANT
[Symbol]	SEWER VENT / I.S.
[Symbol]	TELSTRA PIT
[Symbol]	TREE
[Symbol]	STREET SIGN
[Symbol]	T.B.M.
[Symbol]	GAS METER
[Symbol]	WATER METER
[Symbol]	SHRUBS
[Symbol]	HABITABLE ROOM
[Symbol]	WINDOW
[Symbol]	H = HEAD
[Symbol]	S = SILL

BWA FEATURE SURVEYS MELBOURNE, VICTORIA
BHO 0428 927477 FAX 9802 6099
bryce@featureurvey.com.au
bwa@featureurvey.com.au
SURVEY REF: 401102 DATE: 11/1/2014

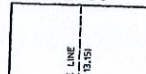
269°49' 300.76

Planning and Environment Act 1987
GOLDEN PLAINS PLANNING SCHEME ENDORSED PLAN

Planning Permit No. P14-085
Page 1 of 6
Signature for the Responsible Authority Laura Wilks
Date 30/05/2014

OFFSET 100 METRES (PENCIL)

GABLE END



NOTATIONS:
Property boundaries are unfenced unless otherwise stated.
Only visible services have been located.
For underground services the relevant servicing authorities should be contacted.
Only abutting house habitable room windows facing subject property have been located.
All trees are under 3 metres in height unless otherwise stated.

PLANNING
04 APR 2014

REFERENCE ONLY

ALL EXTERNAL WALLS 240mm & ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED

DIMENSIONED SIZES OF MATERIALS ARE NOMINAL ONLY AND MAY DIFFER SLIGHTLY TO ON SITE MEASUREMENTS DUE TO VARIANCES IN MANUFACTURING PROCESSES.

ALL WET AREAS TO BE COVERED BY IMPERVIOUS FLOOR & WALL AS PER AS 3740 WATERPROOFING OF DOMESTIC WET AREAS

SMOKE DETECTION DEVICE TO BE INSTALLED ADJACENT TO BEDROOM AREAS IN ACCORDANCE WITH AS 3786.

BUILDING SEALING & PENETRATION SEALING TO COMPLY WITH NCC BUILDING CODE OF AUSTRALIA PART 3.12.3

CONCRETE TILE ROOFING @ 22.5° PITCH STEEL TRUSSES @ 900 CTRS. MAX.

DOWNPIPES TO BE PROVIDED AT 1 PER 60m² OF ROOF AREA, EXCLUDING BOX GUTTER AND RAINEHEADS. REFER TO SHEET 1 FOR BUSHFIRE REQUIREMENTS

CEILING & WALL INSULATION TO BE INSTALLED AS PER NCC BUILDING CODE OF AUSTRALIA PART 3.12.1.1. INSULATION SPECS AS PER THERMAL PERFORMANCE ASSESSMENT.

ALL WINDOWS TO BE ALUMINIUM FRAMED WITH SLIDING SASHES (AWNING MOCK CASEMENT WHERE SHOWN) ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (WINDOWS & DOORS) THERMALLY IMPROVED


NO EAVE FROM BRICKWORK

ARTICULATION JOINTS AS PER ENGINEER'S SPECIFICATION. WHERE ARTICULATION IS NOMINATED ADJACENT TO ANY EXTERNAL WINDOW OR DOOR A CONTINUOUS FLEXIBLE JOINT IS TO BE PROVIDED FOR THE FULL HEIGHT OF THE WALL

SOLAR PANEL LOCATION NOMINAL ONLY. INSTALLERS TO LOCATE (EXCLUDING FRONT ELEVATION) TO COMPLY WITH MANUFACTURERS REQUIREMENTS & AS/NZS 3500 PLUMBING AND DRAINAGE

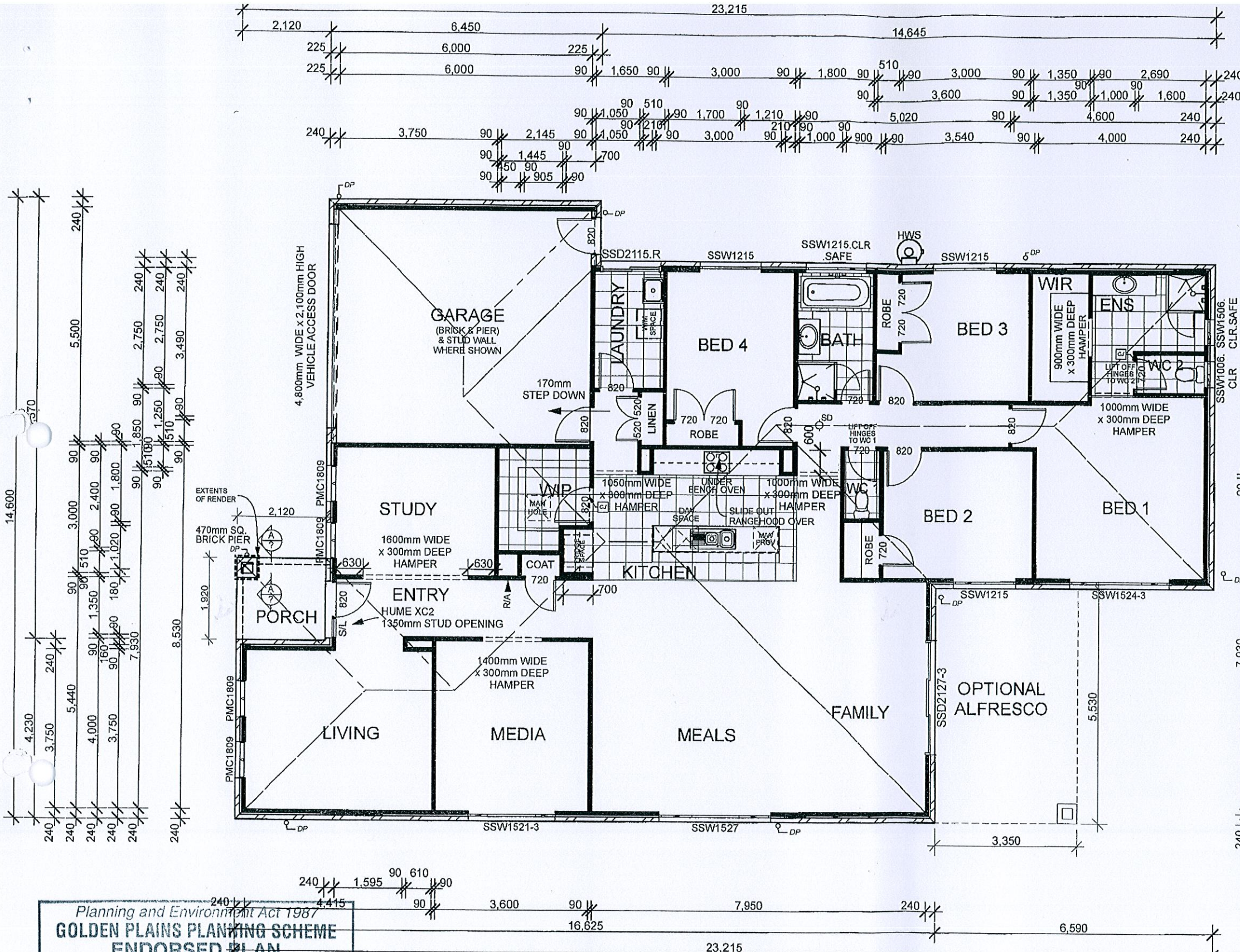
ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS

LOCATION OF MANHOLE IS INDICATIVE ONLY AND IS TO BE CONFIRMED BY BUILDING SUPERVISOR IN CONJUNCTION WITH PLACEMENT OF CENTRAL HEATING UNIT.

LEGEND
 TILE CONSTRUCTION JOINT

CERAMIC TILED AREAS SHOWN SUPPLIED AND INSTALLED BY BUILDER.

CARPET TO REMAINDER OF RESIDENCE SUPPLIED AND INSTALLED BY BUILDER. (EXCEPT FOR MELBOURNE CONSTRUCTION ZONE)



GROUND FLOOR PLAN

SCALE 1:100

Planning and Environment Act 1987
GOLDEN PLAINS PLANNING SCHEME
ENDORSED PLAN
 Planning Permit No. P14-085
 Page 2 of 6
 Signature for the Responsible Authority Laura Aulicks
 Date 30/05/2014

www.jgkinghomes.com.au
 Melbourne (03) 9686 3344 • Ballarat (03) 5330 4444
 Bendigo (03) 5447 9888 • Geelong (03) 5241 9444
 Horsham (03) 5381 1288 • Mildura (03) 5023 4788
 Warrnambool (03) 5562 0299 • Shepparton (03) 5822 4448
 Traralgon (03) 5175 5555 • Wodonga (02) 6057 8000

APPROVED FOR RELEASE TO INTRANET

MANAGING DIRECTOR		PRODUCT DEVELOPMENT MANAGER	
DATE	SIGNED	DATE	SIGNED
/ /		/ /	

ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED.
 ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED.

© - Copyright 2013 JG King Pty. Ltd.

AREA GROUND FLOOR:	223.77m ²
GARAGE:	36.08m ²
PORCH:	4.07m ²
TOTAL:	263.92m ²
ALFRESCO: (optional)	18.53m ²

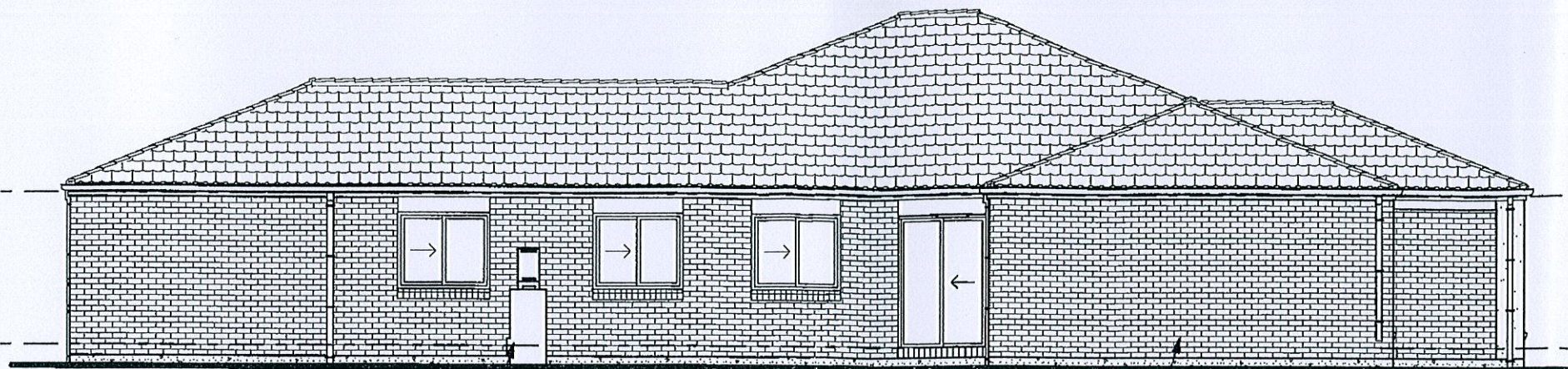
ADELPHI 2
 ALPHA INCLUSIONS

DRAWN:	LAST RELEASED DATE:	SHEET:
JD	19/04/2013	11 of 18

REFERENCE ONLY

U/S CEILING 2400

FLOOR LEVEL 0



LEFT ELEVATION

SCALE 1:100

HOT WATER SERVICE

FACE BRICKWORK

ALL WINDOWS TO BE ALUMINIUM FRAMED WITH SLIDING SASHES. (AWNING MOCK CASEMENT WHERE SHOWN)
ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (WINDOWS & DOORS) THERMALLY IMPROVED

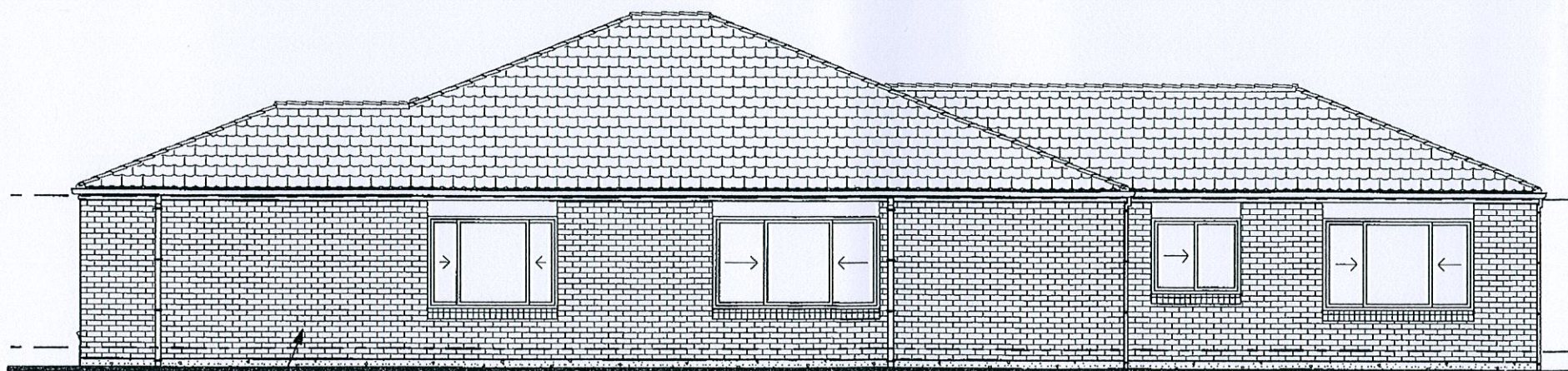
NO EAVE FROM BRICKWORK

ARTICULATION JOINTS AS PER ENGINEER'S SPECIFICATION. WHERE ARTICULATION IS NOMINATED ADJACENT TO ANY EXTERNAL WINDOW OR DOOR A CONTINUOUS FLEXIBLE JOINT IS TO BE PROVIDED FOR THE FULL HEIGHT OF THE WALL

SOLAR PANEL LOCATION NOMINAL ONLY. INSTALLERS TO LOCATE (EXCLUDING FRONT ELEVATION) TO COMPLY WITH MANUFACTURERS REQUIREMENTS & AS/NZS 3500 PLUMBING AND DRAINAGE

U/S CEILING 2400

FLOOR LEVEL 0



RIGHT ELEVATION

SCALE 1:100

FACE BRICKWORK

ALL WINDOWS & SLIDING GLASS DOORS TO HAVE A HEAD HEIGHT OF 2095mm UNLESS NOTED OTHERWISE.

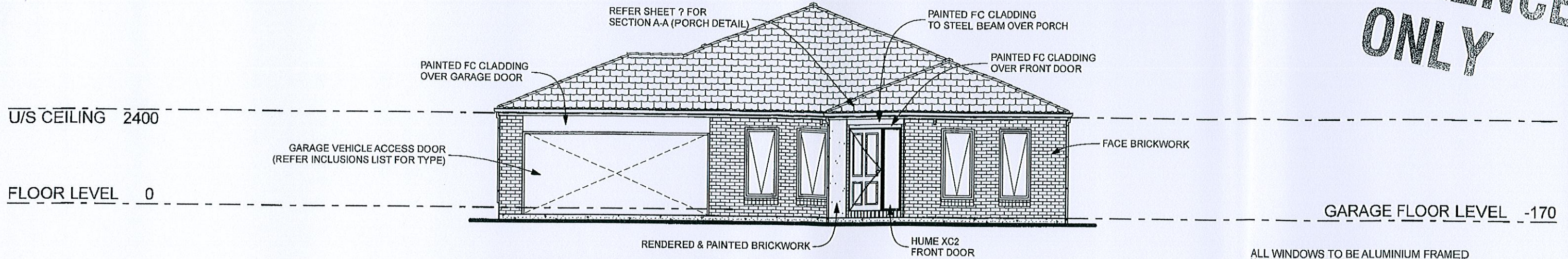
BRICKWORK OVER FRONT WINDOWS ONLY.

FC SHEET CLADDING ABOVE ALL OTHER OPENINGS. (EXCLUDING GARAGE P/A DOOR).

Planning and Environment Act 1987
GOLDEN PLAINS PLANNING SCHEME ENDORSED PLAN
Planning Permit No. P14-085
Page 3 of 6
Signature for the Responsible Authority [Signature]
Date 20/05/2014

<p>www.jgkinghomes.com.au</p> <p>Melbourne (03) 9686 3344 • Ballarat (03) 5330 4444 Bendigo (03) 5447 9888 • Geelong (03) 5241 9444 Horsham (03) 5381 1288 • Mildura (03) 5023 4788 Warrnambool (03) 5562 0299 • Shepparton (03) 5822 4448 Traralgon (03) 5175 5555 • Wodonga (02) 6057 8000</p>	<p>Plans produced under Quality Assured System by JG King Pty Ltd Ballarat</p>	APPROVED FOR RELEASE TO INTRANET				<p>ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED. ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED.</p>	<p>AREA</p> <p>GROUND FLOOR: 223.77m² GARAGE: 36.08m² PORCH: 4.07m² TOTAL: 263.92m²</p>	ADELPHI 2		
		MANAGING DIRECTOR		PRODUCT DEVELOPMENT MANAGER				ALPHA INCLUSIONS		
		DATE	SIGNED	DATE	SIGNED		DRAWN:	LAST RELEASED DATE:	SHEET:	
		/ /		/ /		© - Copyright 2013 JG King Pty. Ltd.	JD	19/04/2013	13 of 18	
						ALFRESCO: (optional) 18.53m ²				

REFERENCE ONLY



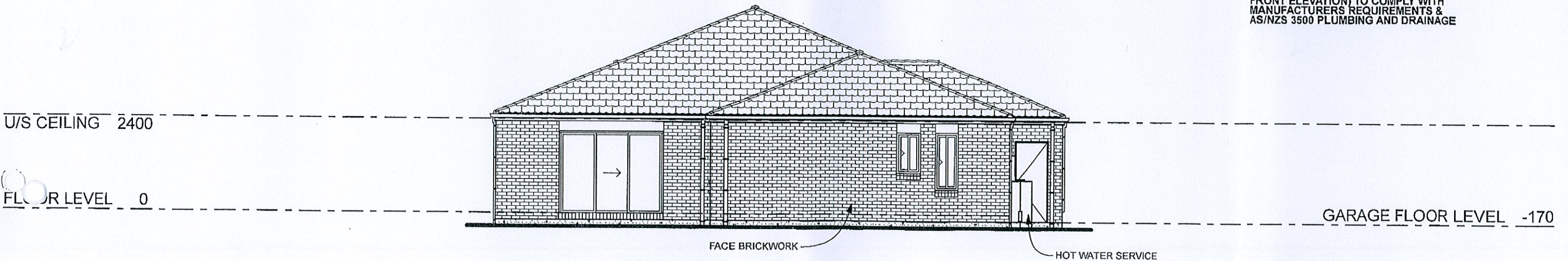
FRONT ELEVATION SCALE 1:100

ALL WINDOWS TO BE ALUMINIUM FRAMED WITH SLIDING SASHES. (AWNING MOCK CASEMENT WHERE SHOWN)
 ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (WINDOWS & DOORS) THERMALLY IMPROVED

NO EAVE FROM BRICKWORK

ARTICULATION JOINTS AS PER ENGINEER'S SPECIFICATION. WHERE ARTICULATION IS NOMINATED ADJACENT TO ANY EXTERNAL WINDOW OR DOOR A CONTINUOUS FLEXIBLE JOINT IS TO BE PROVIDED FOR THE FULL HEIGHT OF THE WALL.

SOLAR PANEL LOCATION NOMINAL ONLY. INSTALLERS TO LOCATE (EXCLUDING FRONT ELEVATION) TO COMPLY WITH MANUFACTURERS REQUIREMENTS & AS/NZS 3500 PLUMBING AND DRAINAGE



REAR ELEVATION SCALE 1:100

ALL WINDOWS & SLIDING GLASS DOORS TO HAVE A HEAD HEIGHT OF 2095mm UNLESS NOTED OTHERWISE.

BRICKWORK OVER FRONT WINDOWS ONLY.

FC SHEET CLADDING ABOVE ALL OTHER OPENINGS. (EXCLUDING GARAGE P/A DOOR).

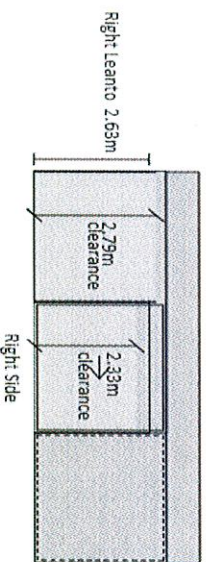
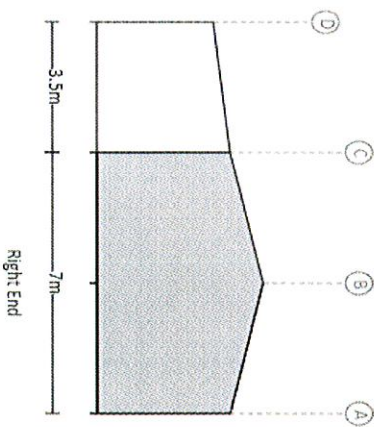
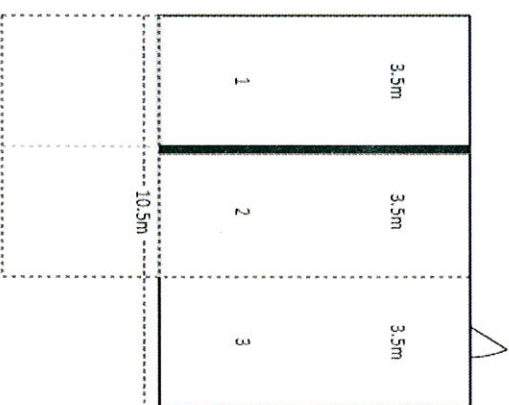
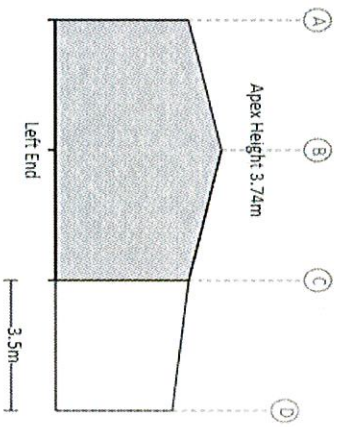
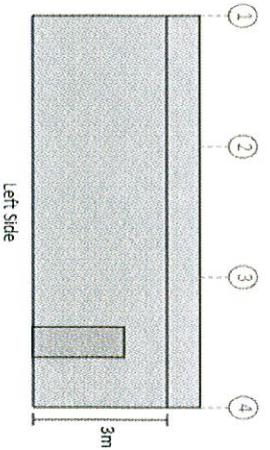
Planning and Environment Act 1987
GOLDEN PLAINS PLANNING SCHEME
ENDORSED PLAN

Planning Permit No. P14-085
 Page 4 of 6
 Signature for the Responsible Authority [Signature]
 Date 30/05/2014

<p>www.jgkinghomes.com.au</p> <p>Melbourne (03) 9686 3344 • Ballarat (03) 5330 4444 Bendigo (03) 5447 9888 • Geelong (03) 5241 9444 Horsham (03) 5381 1288 • Mildura (03) 5023 4788 Warrnambool (03) 5562 0299 • Shepparton (03) 5822 4448 Traralgon (03) 5175 5555 • Wodonga (02) 6057 8000</p>	<p>Plans produced under Quality Assured System by JG King Pty Ltd Ballarat</p>	APPROVED FOR RELEASE TO INTRANET				<p>ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED. ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED.</p>	<p>AREA</p> <p>GROUND FLOOR: 223.77m² GARAGE: 36.08m² PORCH: 4.07m² TOTAL: 263.92m²</p>	ADELPHI 2									
		<p>MANAGING DIRECTOR</p>		<p>PRODUCT DEVELOPMENT MANAGER</p>				ALPHA INCLUSIONS									
<table border="1"> <tr> <th>DATE</th> <th>SIGNED</th> <th>DATE</th> <th>SIGNED</th> </tr> <tr> <td>/ /</td> <td></td> <td>/ /</td> <td></td> </tr> </table>		DATE	SIGNED	DATE	SIGNED	/ /		/ /				<p>© - Copyright 2013 JG King Pty. Ltd.</p>			<p>DRAWN: JD</p>	<p>LAST RELEASED DATE: 19/04/2013</p>	<p>SHEET: 12 of 18</p>
DATE	SIGNED	DATE	SIGNED														
/ /		/ /															

PLANNING
04 APR 2014

Shed



Planning and Environment Act 1987
GOLDEN PLAINS PLANNING SCHEME
ENDORSED PLAN
 Planning Permit No. **PL4-085**
 Page **5** of **6**
 Signature for the Responsible Authority *Sharna Wilks*
 Date **30/05/2014**

Purchaser Name: Greg Lehey

Site Address:

Ref # JFA1401115-2

Building Layout

Ref: JFA1401115-2

Seller: Wide Span Sheds

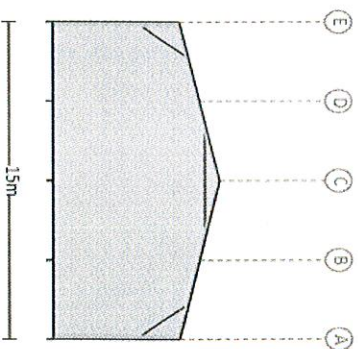
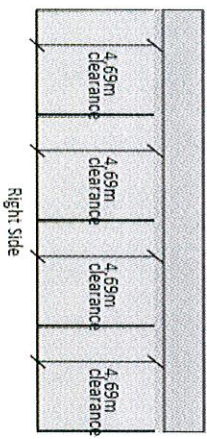
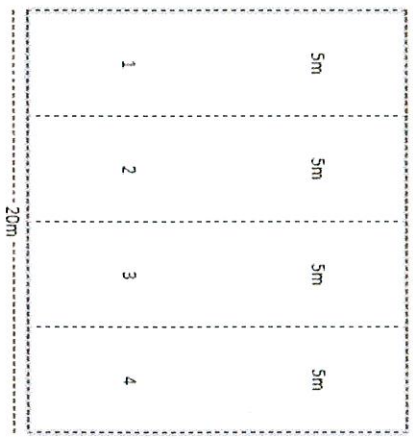
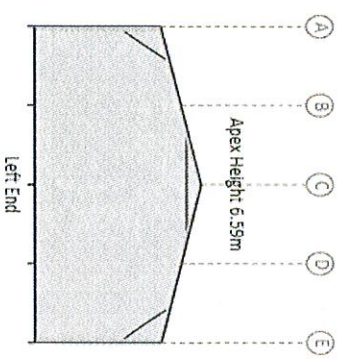
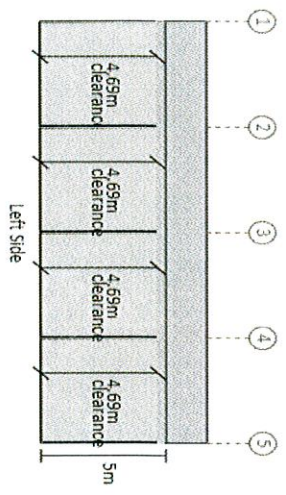
Name: John Farquhar

Phone: 1300 943 317

Fax: 1800 427 400

Email: john.farquhar@sheds.com.au

Print Date: 02/04/14



Arena

PLANNING
04 APR 2014

Planning and Environment Act 1987
GOLDEN PLAINS PLANNING SCHEME
ENDORSED PLAN

Planning Permit No. **P14-085**
Page **6** of **6**
Signature for the Responsible Authority *Karina Wilkes*
Date **30/05/2014**

Purchaser Name: **Greg Lehey**
Site Address:
Ref # **JFA1404018**

Building Layout
Ref: **JFA1404018**

Seller: **Wide Span Sheds**
Name: **John Farquhar**
Phone: **1300 943 377**
Fax: **1800 427 400**
Email: **john.farquhar@sheds.com.au**

Print Date: **02/04/14**

Biodiversity assessment report

Biodiversity information for applications for permits to remove native vegetation under clause 52.16 or 52.17 of the Victoria Planning Provisions

Date of issue: 12 May 2014

Time of issue: 11:58:33

Property address 23 STONES ROAD DEREEL 3352

Summary of marked native vegetation

Risk-based pathway	Low
Total extent	0.185 ha
Remnant patches	
1	0.055 ha
2	0.130 ha
Location risk	A

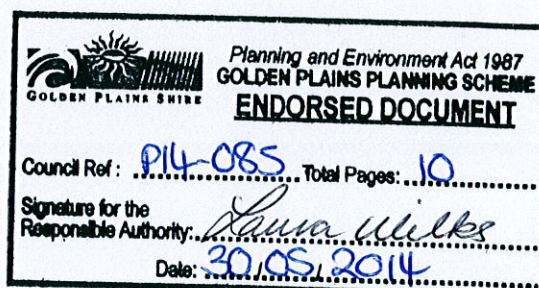
See Appendix 1 for risk-based pathway details

Offset requirements

If a permit is granted to remove the marked native vegetation, a requirement to obtain a native vegetation offset will be included in the permit conditions. The offset must meet the following requirements:

Offset type	General offset
Offset amount (general biodiversity equivalence units)	0.017
Offset attributes	
Vicinity	Corangamite Catchment Management Authority (CMA)
Minimum strategic biodiversity score	0.080
Strategic biodiversity score of marked native vegetation	0.100

See Appendix 2 for offset requirements details



Biodiversity assessment report

Next steps

This proposal to remove native vegetation must meet the application requirements of the low risk-based pathway and it will be assessed in the low risk-based pathway.

If you wish to remove the marked native vegetation you are required to apply for a permit from your local council.

The Biodiversity assessment report should be submitted with your application for a permit to remove native vegetation you plan to remove, lop or destroy.

The Biodiversity assessment report provides the following information that is required to be provided with your application for a permit to remove native vegetation:

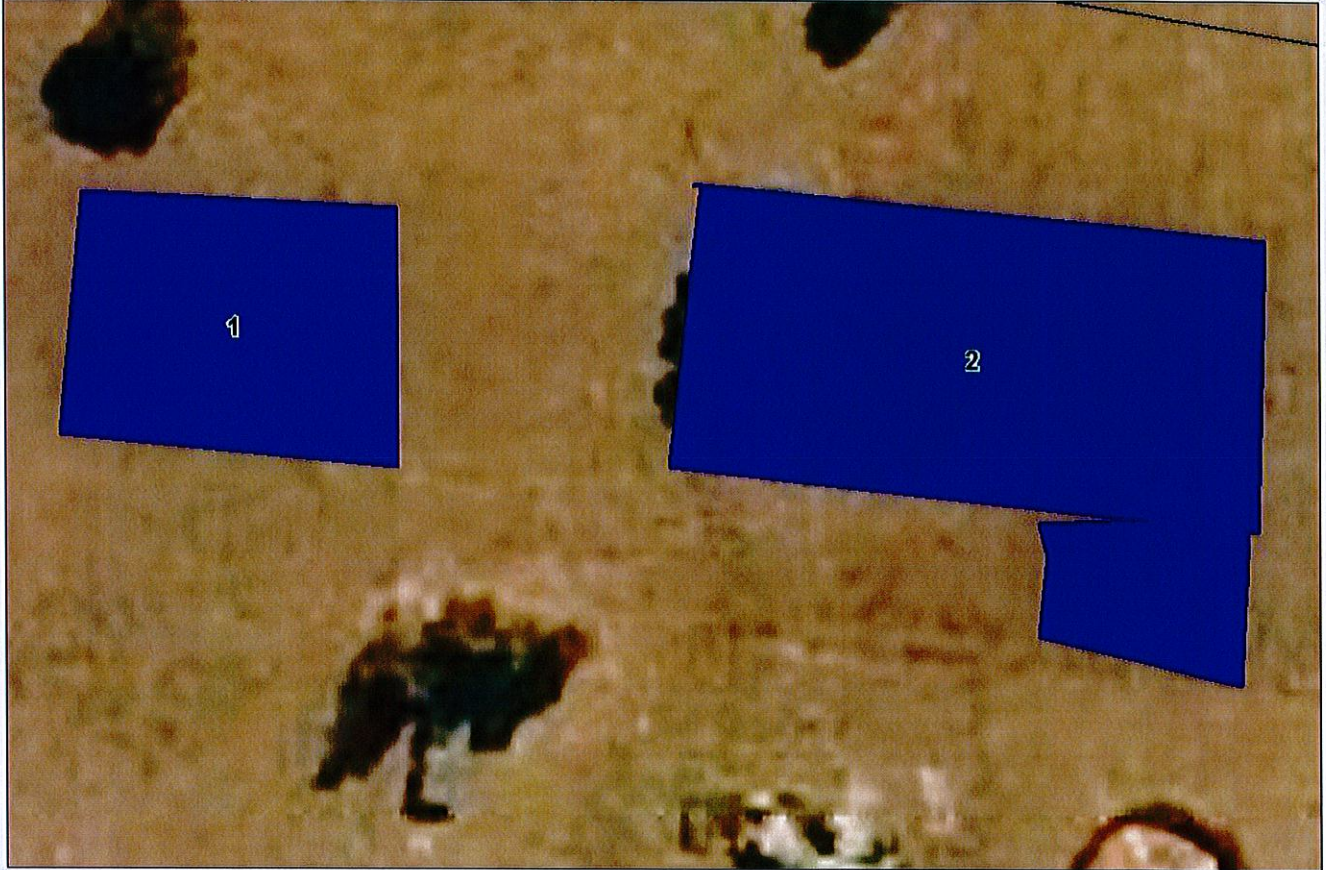
- The location of the site where native vegetation is to be removed.
- The area of the patch of native vegetation and/or the number of any scattered trees to be removed.
- Maps or plans containing information set out in the *Permitted clearing of native vegetation - Biodiversity assessment guidelines*.
- The risk-based pathway of the application for a permit to remove native vegetation.
- The strategic biodiversity score of the native vegetation to be removed.
- The offset requirements should a permit be granted to remove native vegetation.

If you have undertaken any permitted clearing on your property within the last five years contact DEPI to confirm offset requirements.



Additional information is required when submitting an application for a permit to remove native vegetation. Refer to the *Permitted clearing of native vegetation - Biodiversity assessment guidelines* for a full list of application requirements.

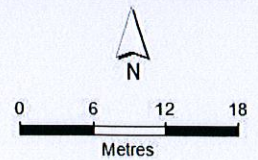
Maps of marked native vegetation

Marked native vegetation to be removed, lopped or destroyed



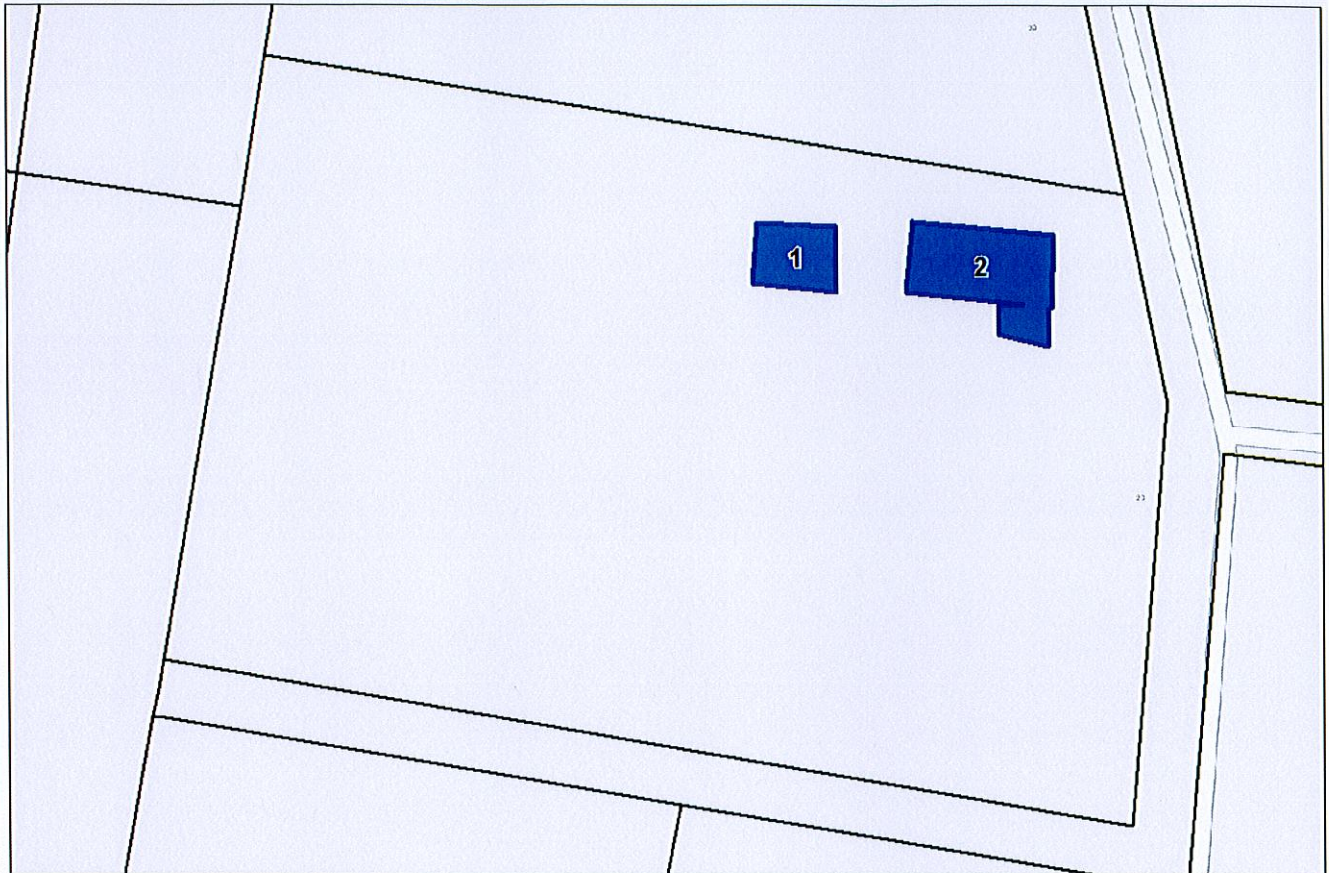
Legend

-  Marked native vegetation
-  Property boundary





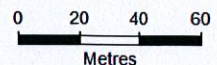
Biodiversity assessment report

Property view of marked native vegetation



Legend

-  Marked native vegetation
-  Property boundary



Department of
Environment and
Primary Industries 

See Appendix 3 for biodiversity information maps

© The State of Victoria Department of Environment and Primary Industries 2013
This publication is copyright. No part may be reproduced by any process except
in accordance with the provisions of the *Copyright Act 1968*.

Authorised by the Victorian Government, 8 Nicholson Street, East Melbourne.

For more information contact the DEPI Customer Service Centre 136 186

Disclaimer

This publication may be of assistance to you but the State of Victoria and its employees do not guarantee that the publication is without flaw of any kind or is wholly appropriate for your particular purposes and therefore disclaims all liability for any error, loss or other consequence which may arise from you relying on any information in this publication.

Obtaining this publication does not guarantee that an application will meet the requirements of clauses 52.16 or 52.17 of the Victoria Planning Provisions or that a permit to remove native vegetation will be granted.

Notwithstanding anything else contained in this publication, you must ensure that you comply with all relevant laws, legislation, awards or orders and that you obtain and comply with all permits, approvals and the like that affect, are applicable or are necessary to undertake any action to remove, lop or destroy or otherwise deal with any native vegetation or that apply to matters within the scope of clauses 52.16 or 52.17 of the Victoria Planning Provisions.

www.depi.vic.gov.au

Department of
Environment and
Primary Industries 

Biodiversity assessment report

Appendix 1 - Risk-based pathway details

Risk-based pathway	Low
Total extent	0.185 ha
Remnant patches	
1	0.055 ha
2	0.130 ha
Location risk	A

Why is the risk-based pathway low?

The following table explains how the risk-based pathway is determined:

Extent	Location A	Location B	Location C
< 0.5 hectares	Low	Low	High
≥ 0.5 hectares and < 1 hectares	Low	Moderate	High
≥ 1 hectares	Moderate	High	High

The marked native vegetation is located entirely within Location A and has a total extent of less than 0.5 hectares.

At this location, native vegetation removal of this size is not expected to have a significant impact on the habitat of any rare or threatened species. As a result, an application for the removal of this native vegetation must meet the requirements of, and will be assessed in, the low risk-based pathway.

For further information on location risk please see *Native vegetation location risk map factsheet*. For information on the determination of the risk-based pathway see *Permitted clearing of native vegetation – Biodiversity assessment guidelines*.

Have you received a planning permit to remove native vegetation in the last five years?

If you have undertaken any permitted clearing on your property within the last five years, the extent of this past clearing must be included in the total extent of your current permit application. The risk-based pathway for your application requirements and assessment pathway is determined using the combined extent of permitted clearing within the last five years and proposed clearing.

If the risk-based pathway determined from this combined extent is low, contact DEPI to confirm offset requirements.

Biodiversity assessment report

Appendix 2 - Offset requirements details


If a permit is granted to remove the marked native vegetation the permit condition will include the requirement to obtain a native vegetation offset. This offset must meet the following requirements:

Offset type	General offset
Offset amount (general biodiversity equivalence units)	0.017
Offset attributes	
Vicinity	Corangamite Catchment Management Authority (CMA)
Minimum strategic biodiversity score	0.080
Strategic biodiversity score of marked native vegetation	0.100

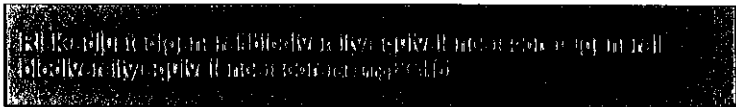
Native vegetation to be removed

Total extent (hectares) for calculating habitat hectares	0.185	<p>This is the total area of the marked native vegetation in hectares.</p> <p>The total extent of native vegetation is an input to calculating the habitat hectares of a site and in calculating the general biodiversity equivalence score. Where the marked native vegetation includes scattered trees, each tree is converted to hectares using a standard area calculation of 0.071 hectares per tree.</p>
Condition score*	0.606	<p>This is the weighted average condition score of the marked native vegetation. This condition score has been calculated using the <i>Native vegetation condition map</i>.</p> <p>The condition score of native vegetation is a site-based measure of how close the native vegetation is to its mature natural state, as represented by a benchmark reflecting pre-settlement circumstances. The <i>Native vegetation condition map</i> is a modelled layer based on survey data combined with a benchmark model and a range of other environmental data.</p>
Habitat hectares	0.112	<p>Habitat hectares is a site-based measure that combines extent and condition of native vegetation. The habitat hectares of native vegetation is equal to the current condition of the vegetation (condition score) multiplied by the extent of native vegetation.</p> <div style="border: 1px solid black; padding: 5px; margin-top: 10px;"> <p>Habitat hectares = total extent x condition</p> </div>
Strategic biodiversity score	0.100	<p>This is the weighted average strategic biodiversity score of the marked native vegetation. This strategic biodiversity score has been calculated using the <i>Strategic biodiversity map</i>.</p> <p>The strategic biodiversity score of native vegetation is a measure of the native vegetation's importance for Victoria's biodiversity, relative to other locations across the landscape. The <i>Strategic biodiversity map</i> is a modelled layer that prioritises locations on the basis of rarity and level of depletion of the types of vegetation, species habitats, and condition and connectivity of native vegetation.</p>

Biodiversity assessment report

General biodiversity equivalence score	0.011	The general biodiversity equivalence score quantifies the relative overall contribution that the native vegetation to be removed (the marked native vegetation) makes to Victoria's biodiversity. It is calculated as follows: 
---	-------	--

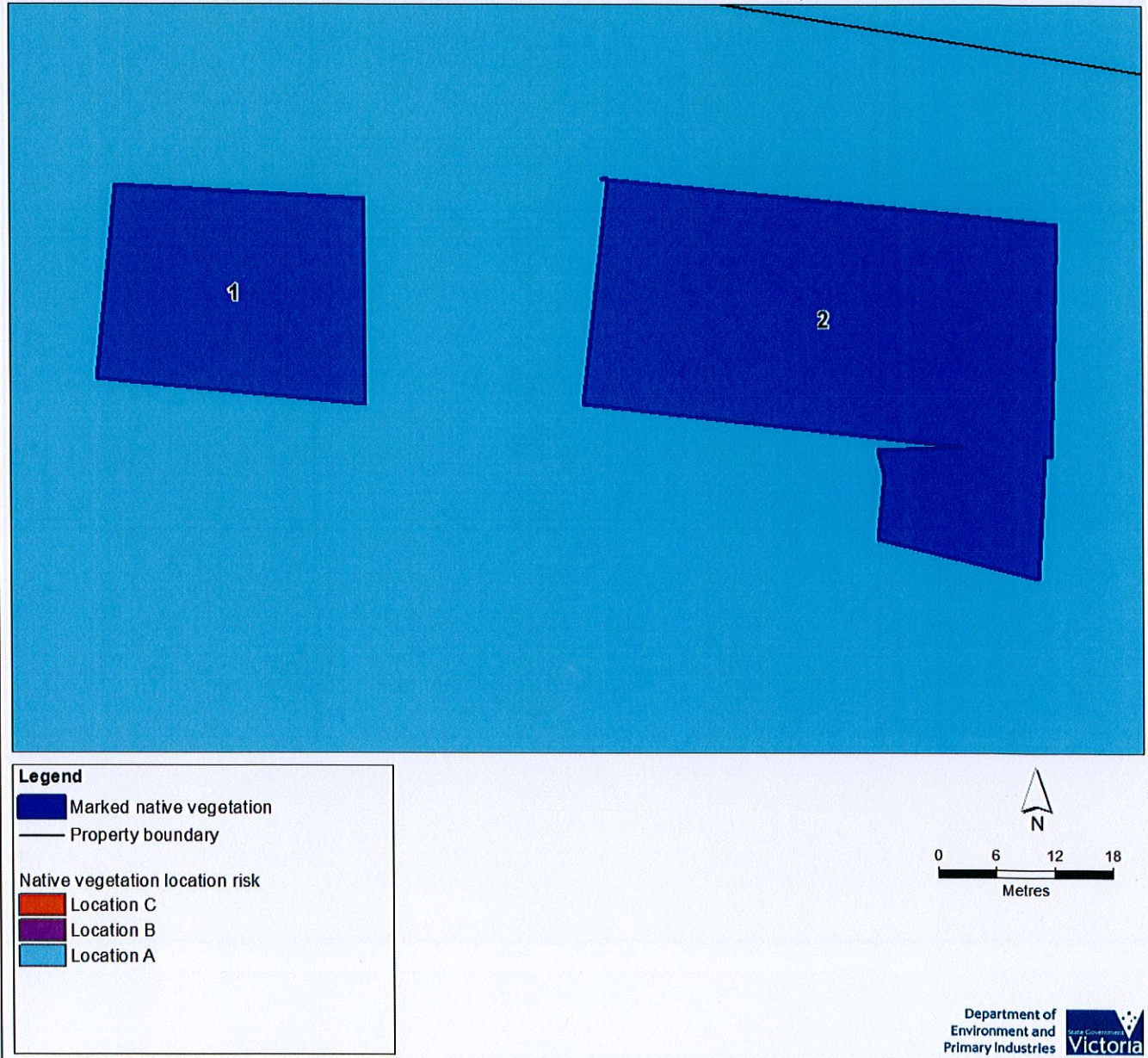
* Offset requirements for partial clearing: If your proposal is to remove parts of the native vegetation in a remnant patch (for example only understorey plants) the condition score must be adjusted. This will require manual editing of the *condition score*, and an update to the following calculations that the biodiversity assessment tool has provided: *habitat hectares*, *general biodiversity equivalence score* and *offset amount*.

Offset type	General offset	A general offset is required when a proposal to remove native vegetation is not deemed, by application of the specific-general offset test, to have a significant impact on habitat for any rare or threatened species. All proposals in the low risk-based pathway will require a general offset.
Risk factor for general offsets	1.5	There is a risk that the gain from undertaking the offset will not adequately compensate for the loss from the removal of native vegetation. If this were to occur, despite obtaining an offset, the overall impact from removing native vegetation would result in a loss in the contribution that native vegetation makes to Victoria's biodiversity. To address the risk of offsets failing, an offset risk factor is applied to the calculated loss to biodiversity value from removing native vegetation.
Offset amount (general biodiversity equivalence units)	0.017	This is calculated by multiplying the general biodiversity equivalence score of the native vegetation to be removed by the risk factor for general offsets. This number is expressed in general biodiversity equivalence units and is the amount of offset that is required to be provided should the application be approved. This offset requirement will be a condition to the permit for the removal of native vegetation. 
Minimum strategic biodiversity score	0.080	The strategic biodiversity score of the offset site must be at least 80 per cent of the strategic biodiversity score of the native vegetation to be removed. This is to ensure offsets are located in areas with a strategic value that is comparable to, or better than, the native vegetation to be removed.
Vicinity	Corangamite CMA	The offset site must be located within the same Catchment Management Authority boundary as the native vegetation to be removed.

Biodiversity assessment report

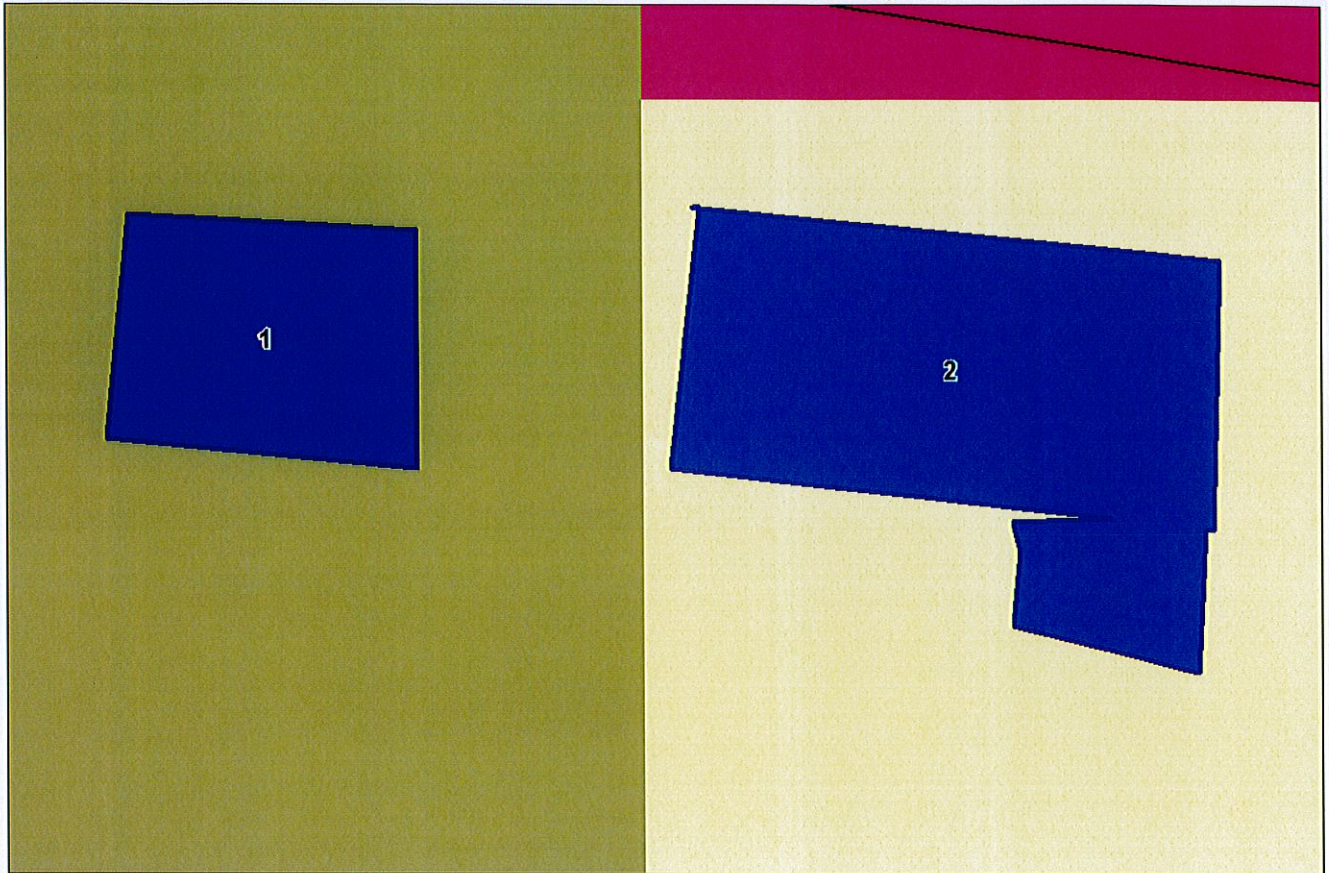
Appendix 3 - Biodiversity information maps

Marked native vegetation and the *Native vegetation location risk map*



Biodiversity assessment report

Marked native vegetation and the *Native vegetation condition map*



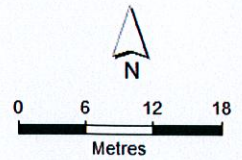
Legend

- Marked native vegetation
- Property boundary

Native vegetation condition*

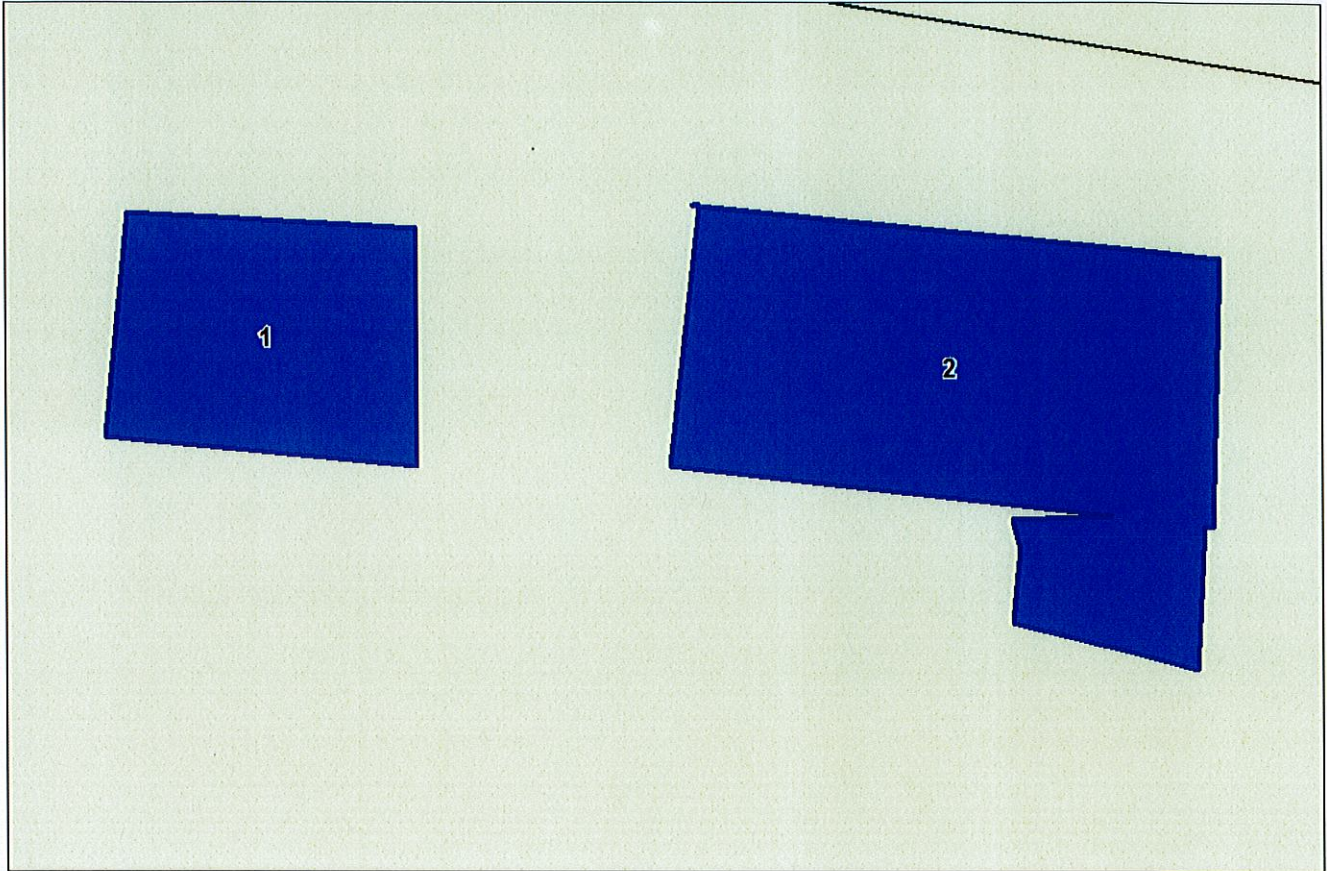
- 0.81 - 1.00
- 0.61 - 0.80
- 0.41 - 0.60
- 0.21 - 0.40
- 0.00 - 0.20

* These classes are for display purposes only





Biodiversity assessment report






Marked native vegetation and the *Strategic biodiversity map*



Legend

-  Marked native vegetation
-  Property boundary

Strategic biodiversity score*

-  0.81 - 1.00
-  0.61 - 0.80
-  0.41 - 0.60
-  0.21 - 0.40
-  0.00 - 0.20

* These classes are for display purposes only

